



# Village of Bloomingdale

Franco A. Coladipietro  
Village President

December 4, 2014

Jane E. Michelotti  
Village Clerk

*"Growth with Pride"*

## VILLAGE SERVICES DEPARTMENT - BUILDING AND ZONING

### RESIDENTIAL DECKS

**BUILDING PERMITS:** Application/Permit is required for any deck construction.

**PERMIT FEES:** Village Code Title 10, Chapter 1-2, Fee Schedule.

#### **PERMIT APPLICATION REQUIREMENTS:**

1. Completed building permit application form.
2. Completed Stormwater and Flood Plain Management Certification form.
  - a. Include a calculation of development area (area disturbed by proposed activity).
  - b. Include a calculation of new net impervious area (impervious areas are those areas of the development activity that will shed runoff during rainfall, such as concrete or asphalt pavement, brick pavers, retaining walls). Identify the material to be placed under the deck, i.e. dirt, gravel, pavement.
  - c. Submit a stormwater submittal if the disturbed area is greater than 5,000 square feet or the new net impervious area is greater than 2,500 square feet.
  - d. Show the direction of flow of runoff from the impervious areas. Runoff should be directed to the front or rear of the site, preferably across lawns and contained on each site.
3. Drawing indicating and explaining deck construction.
4. Two (2) copies of Plat of Survey showing the following:
  - a. Legal property description.
  - b. Location of principle building and any other existing accessory structures.
  - c. Location of deck - in compliance with size and location requirements. Show dimensions of the proposed improvements.
  - d. If applicable, from all utility companies located in an easement, written permission to encroach on that easement(s).
  - e. If applicable, show the location of any floodplain, wetland or waterway buffer on or within 100 feet of the site.
  - f. If property has a septic field, prior approval from DuPage Co. Health Dept. (630) 682-7400, TDD (630) 932-1447 is required along with your permit application submittal.
5. Deck installations must comply with all applicable subdivision regulations/covenants.
6. Signed proposal/contract.
7. Homeowner Association approval, if applicable.

## LOCATION AND SIZE REQUIREMENTS:

1. Location
  - a. Interior Side and rear yards only.
  - b. Single Family Home - may not extend within five (5) feet of interior side or rear lot lines.
  - c. Multi-family and Townhomes - may not extend within one (1) foot of interior side or rear property lines.
2. Size
  - a. On Single Family Home lots - may not exceed thirty (30) percent of yard area, including any other structures on the lot (i.e. pools, sheds, garages, decks, etc.)

## CONSTRUCTION REQUIREMENTS:

1. Must support a **minimum live load** of forty (40) pounds per square foot.  
**NOTE:** Some deck designs may not be appropriate for installation of screened-in enclosures at a future date.
2. **Frost footings** minimum forty-two (42) inches in depth are required for any deck.
3. **All decking materials** used in construction is required to be of approved wood of natural resistance to decay (redwood, cedar, etc.) or approved treated wood or other approved material.
4. **Joist hangers** are required on any joist headers over six (6) feet in length. **Headers** over four (4) feet in length must be doubled.
5. **Weatherproof flashing and caulking** is required at all connections between deck and principle dwelling unit.
6. **Stairways** shall not be less than three (3) feet in clear width.
7. **Handrails** are required on at least one side of stairways of four (4) or more risers.
8. Guardrails on all decks and open sides of stairs that are thirty (30) inches or more above grade must have guardrails. Required guardrails must be thirty-six (36) inches minimum in height and have intermediate rails or ornamental closures that will not allow passage of an object four (4) inches or more in diameter.
9. **Weed barrier** (visqueen) with gravel cover required for control of weed growth under the deck.
10. **Bolt all beams** to post with minimum 1/2" carriage bolts.
11. **For beam, joist span and sizes** see Southern Pine Council Tables (attached) or:
12. **Beams:** <http://www.raisedfloorliving.com/spantables.shtml> - Table #'s 12, 13, or 14, as appropriate.
13. **Joists:** <http://www.southernpine.com/pdf/table14.pdf> - Table #14
14. **Deck construction** shall comply with 2012 International Residential Code as amended and adopted by Village of Bloomingdale Ordinance No. 2013-22.

## INSPECTIONS REQUIRED:

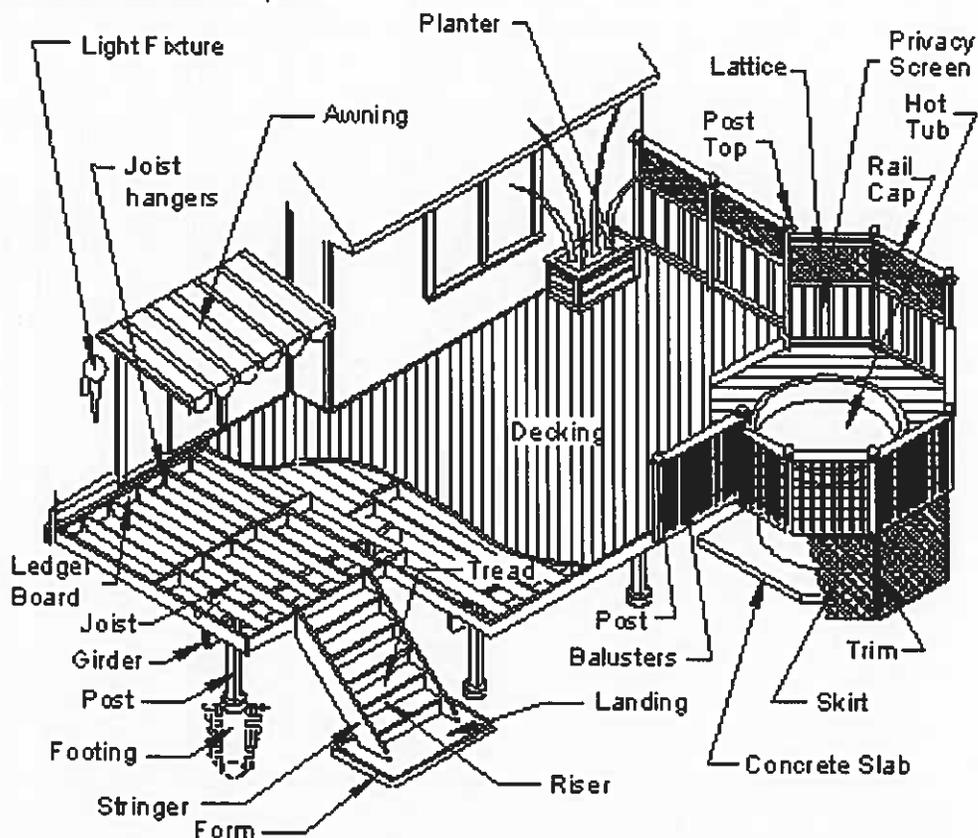
Inspection requirements will be based upon the type of deck construction and will be listed on the permit drawings.

\*\*\* ALL INSPECTIONS REQUIRE 24 HOUR NOTICE \*\*\*

\*\*\* APPLICANT IS RESPONSIBLE FOR SCHEDULING INSPECTIONS \*\*\*

## Anatomy of a Deck

Below is a diagram of a deck with some of the many components that make up a deck project broken down into terms and descriptions.



**Arbors:** A structure that can be used for hanging plants or vines.

**Awning:** An overhead covering to provide shade and protection from the weather.

**Balusters:** The vertical members of a railing in between the posts. An overhead covering to provide shade and protection from the weather.

**Bridging:** Blocking used between joists to prevent them from rocking and twisting.

**Decking:** The boards that make up the floor of the deck. The decking or deck boards attach directly to the top of the floor joist.

**Fascia:** A decorative board used to cover the front and side rim joists.

**Flashing:** A material used to prevent water from entering the home particularly where the ledger board bolts to the house.

**Footings:** The concrete support foundation the deck is built upon.

**Girder:** A lateral support beam the floor joist rests on.

**Joist:** Spans of lumber that make the substructure of the floor the decking is fastened to

**Joist Hangers:** Metal brackets used to secure the joist ends to the ledger board.

**Lattice:** An open cross pattern of interweaved strips generally used for privacy screens and skirts.

**Ledger Board:** The board bolted to the house and joist ends get fastened to.

**Deck Posts:** The vertical lumber that rests on the footings to support the girders and deck.

**Post base:** Metal brackets to securely fasten the bottom of the post to the footings.

**Post top:** A decorative top that can be added to a railing post.

**Rails:** Rails are the top or bottom horizontal members spindles attached to.

**Rise:** The vertical distance of one step.

**Risers:** The vertical boards behind or in back of stair treads.

**Skirt:** Covers the underneath of a deck.

**Spindles:** The vertical members of a railing in between the posts also referred to as balusters.

**Stringers:** The framing for stairs the risers and treads attached to.

**Tread:** The step or part of stairs that is stepped on.

**Trellis:** An overhead wood structure constructed for a decorative look and to shade sun.



# APPLICATION FOR PERMIT

(Type or Print in Ink)

**VILLAGE OF BLOOMINGDALE**  
201 S. BLOOMINGDALE ROAD  
BLOOMINGDALE, IL 60108-1487  
(630) 671-5660 FAX: (630) 893-1596

IT WILL BE UNLAWFUL TO OCCUPY THE PREMISES STATED BELOW UNTIL FINAL INSPECTION HAS BEEN PERFORMED, APPROVED AND CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED.

PERMIT NO.

RECEIPT NO.

INSPECTOR

APPLICANT NAME: \_\_\_\_\_ DATE: \_\_\_\_\_

ADDRESS OF PROPERTY: \_\_\_\_\_

TYPE OF PERMIT: \_\_\_\_\_ CONSTRUCTION COST: \_\_\_\_\_

EMAIL: \_\_\_\_\_ PHONE# TO CONTACT WHEN PERMIT IS READY: \_\_\_\_\_

OWNER NAME (IF DIFFERENT THAN ABOVE): \_\_\_\_\_ OWNER PHONE: \_\_\_\_\_

OWNER ADDRESS (IF DIFFERENT THAN ABOVE): \_\_\_\_\_

RESIDENTIAL  BUSINESS NAME/ TYPE OF BUSINESS: \_\_\_\_\_ SQUARE FT: \_\_\_\_\_

ZONING DISTRICT: \_\_\_\_\_ PROPERTY ID #: \_\_\_\_\_ SUBDIVISION: \_\_\_\_\_

CONTRACTOR NAME: \_\_\_\_\_ ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_

GEN'L CONTR: \_\_\_\_\_

CEMENT CONTR: \_\_\_\_\_

CARPENTER: \_\_\_\_\_

MASON: \_\_\_\_\_

PLUMBER: \_\_\_\_\_

NO OF FIXTURES: \_\_\_\_\_ OTHER: \_\_\_\_\_

ROOFER: \_\_\_\_\_

ELEC. CONTR: \_\_\_\_\_

\_\_\_\_\_ AMP SERVICE \_\_\_\_\_ # OF ONE POLE CIR \_\_\_\_\_ # OF TWO POLE CIR \_\_\_\_\_ # OF THREE POLE CIR

MECH. CONTR: \_\_\_\_\_

ELEV. CONTR: \_\_\_\_\_

FIRE PROT. CONT: \_\_\_\_\_

The undersigned hereby applies to the Village of Bloomingdale, Illinois for a permit herein described and if granted, the applicant shall comply with all requirements of the Village Ordinances relating thereto and pay the fees required including any past due monies due to the Village, including, but not limited to any water and sewer rate charges associated with the above Address of Property. Permits are valid for 12 months, if construction has commenced and 6 months, if work has not been started. You may be subject to additional permit fees after expiration date to extend a permit. No error or omission in either the plans or application, whether or not the plans or application have been approved by the Building Official, shall permit or relieve the applicant from constructing the work in any other manner than that provided for in the Ordinances of this Village relating thereto.

**ANY BOND MONIES NOT RETURNABLE OR NOT REQUESTED FOR RETURN WITHIN ONE YEAR OF FINAL INSPECTION APPROVAL OR CERTIFICATE OF OCCUPANCY ISSUANCE WILL BE FORFEITED TO THE VILLAGE OF BLOOMINGDALE.**

\_\_\_\_\_  
SIGNATURE OF AGENT OR OWNER

PERMIT ISSUED BY \_\_\_\_\_  
BUILDING COMMISSIONER

\_\_\_\_\_  
PRINT NAME

DATE PERMIT ISSUED: \_\_\_\_\_

PERMIT FEES: \$ \_\_\_\_\_ PAID

PLAN REVIEW FEES: \$ \_\_\_\_\_ PAID

**\*\*24-HOUR NOTICE REQUIRED FOR ALL INSPECTIONS\*\***

**THE APPLICANT OF THIS PERMIT AGREES TO PAY ALL PLAN REVIEW FEES WHETHER THEY RECEIVE A PERMIT OR NOT.**

VILLAGE OF BLOOMINGDALE

APPLICATION NUMBER: \_\_\_\_\_

DECK

STORMWATER AND FLOODPLAIN MANAGEMENT ORDINANCE CERTIFICATION

<b>APPLICANT</b>	APPLICATION DATE: _____	
	PROPERTY ADDRESS: _____	
	PERMANENT PARCEL NUMBER: _____	
	OWNER AND APPLICANT STATEMENT – Under penalty of intentional misrepresentation and/or perjury, I declare that I have examined and/or made this application and it is true and correct to the best of my knowledge and belief. I agree to construct said improvement in compliance with all provisions of the applicable ordinances. I realize that the information that I have affirmed hereon forms a basis for the issuance of the stormwater management permit(s) herein applied for and approval of plans in connection therewith shall not be constructed to permit any construction upon said premises or use thereof in violation of any provision of any applicable ordinance or to excuse the owner or his successors in title from complying therewith. All parts of the permit submittal may be made available for inspection and copying pursuant to applicable sections of the Stormwater and Floodplain Management Ordinance.	
APPLICANT NAME: _____ ADDRESS: _____ CITY, STATE, ZIP: _____ TELEPHONE: _____ E-MAIL: _____ SIGNATURE: _____	<input type="checkbox"/> CHECK IF OWNER INFORMATION SAME AS APPLICANT OWNER NAME: _____ ADDRESS: _____ CITY, STATE, ZIP: _____ TELEPHONE: _____ E-MAIL: _____ SIGNATURE: _____	
DEVELOPMENT NARRATIVE _____		
MATERIAL TO BE PLACED UNDER DECK <input type="checkbox"/> NONE, JUST DIRT <input type="checkbox"/> GRAVEL <input type="checkbox"/> CONCRETE OR OTHER IMPERVIOUS MATERIAL		
PLANS _____		
AREA OF DEVELOPMENT _____ NET NEW IMPERVIOUS AREA _____		

<b>VILLAGE</b>	BY VILLAGE: APPROVAL DATE _____	
	<input type="checkbox"/> STORMWATER CERTIFICATION <input type="checkbox"/> GENERAL CERTIFICATION <input type="checkbox"/> LETTER OF PERMISSION	
	PERFORMANCE SECURITY AND EASEMENTS _____	
	SOIL EROSION AND SEDIMENT CONTROL REQUIREMENTS _____	
	PCBMP _____	VCBMP _____
	SITE RUNOFF CONVEYANCE, STORAGE AND FIELD TILES _____	
	FLOODPLAIN MANAGEMENT _____	
WETLANDS _____ BUFFERS _____ FEE IN LIEU PROGRAMS _____		
REVIEWER _____	CERTIFICATION APPROVAL _____	
DATE _____	DATE _____	
FEES _____	EXPIRATION DATE _____	
AUTHORIZATION TO CONSTRUCT _____		DATE _____